

PB# 77-30

Continental Manor

Continental Manor

reversed plane
approved July 13, 1977
No fee
filed with T.C. Office 7/14/77
11:14am



Oxford Pendasflex

STOCK No. 753 1/3

MADE IN U.S.A.



STATE OF NEW YORK
DEPARTMENT OF TRANSPORTATION

JAMES L. LAROCCA
COMMISSIONER

112 Dickson Street
NEWBURGH, NEW YORK 12550

August 15, 1985

Planning Board
Town of New Windsor
Town Hall
Union Avenue
New Windsor, NY 12550

RE: Continental Village
Route 300, S.H. 9457
Town of New Windsor

Dear Chairman:

This is to inform you that the plans for this project dated 1978 showing the proposed work on Temple Hill Road does not meet this Departments standards.

As you are aware, this section of highway is under a Design Contract and is going to bid for reconstruction in late 1986. Therefore, it is our position that any improvements to be made, as needed, be part of this work.

As design plans become available, we will be more than happy to go over them with your people.

Very truly yours,

A handwritten signature in cursive script, appearing to read "D. Greene".

D. Greene
C.E. I, Permits

DG/dn

received 8/16/85
ph.
Planning Board

17-30

County of Orange

COUNTY CLERK'S OFFICE

Orange County Government
Center



Goshen, New York 10924
Tel. (914) 294-5151

*Planning Board 72-30
received 11/13/84
sh*

MARION S. MURPHY
County Clerk

ALBERT P. PACIONE, SR.
Deputy County Clerk

Date: November 8, 1984

CHAIRMAN OF PLANNING BOARD

☐ City
☒ Town of New Windsor
☐ Village

Dear Mr. Henry J. Reynolds :

In compliance with the Town Planning Law, this is to notify you
that the Plan of Subdivision for Continental Manor
☐ City
of ☒ Town of New Windsor dated 02/00/78
☐ Village
and approved by Henry F. Scheible on 10/10/84
and filed in our office on 10/18/84 as Map number 6762.

With Kindest regards, I am

MARION S. MURPHY
County Clerk

By: John L. Clement
Acting Deputy County Clerk

Continental Manor
SCOTT AND HOYT
ATTORNEYS AND COUNSELORS AT LAW
Planning Board
Received 12/3/84 sh.
77-30

J. BRADLEY SCOTT (1894-1962)
JULIUS LARKIN HOYT

POST OFFICE BOX 511
233 LIBERTY STREET
NEWBURGH, NEW YORK 12550
(914) 562-3540

November 29, 1984

Continental Manor II
Route 52 and 376
Fishkill, NY 12524

Attention: Mr. Panarello

Re: DiPaolo Parcel Access

Dear Mr. Panarello:

After meeting with you at the construction trailer off Route 300 some two to three weeks ago, I met again with Mr. Cuomo, Town Engineer of the Town of New Windsor, and reviewed the Continental Manor Site Plan that apparently received an additional approval on October 10, 1984.

It appears from that plan that the 4.168 acre parcel of DiPaolo (65-2-3 on the New Windsor Tax Map) adjoins the Continental Manor parcel, the common boundary being a line defined as North 84°-28' East 624 feet in the DiPaolo Deed which I believe, after allowance for bearing variance over the years, is within a foot or so of the stated distance of the Continental Manor line on the Site Plan.

We also came across an Agreement dated September 24, 1975 between the then owner of Continental Manor, Lynn Phil Company, and the Planning Board of the Town of New Windsor which provides in part under item 3 that a right-of-way for ingress and egress over Continental Manor property to Temple Hill Road was to be granted to the owner of the property designated 65-2-3 on the Town of New Windsor Tax Map.

Final site approval was granted by the Town of New Windsor Planning Board on the 24th of September 1975, the same date as the date of the Agreement.

SCOTT AND HOYT

Accordingly, in view of this background and the earlier provision and the most recent approval of the Site Plan and further in view of the fact that an appraisal of the DiPaolo 4.168 acre parcel (65-2-3) in connection with Mr. DiPaolo's death indicated that there appeared to be no right-of-way to the parcel and that this severely limited its value, this is to request on behalf of Eleanor DiPaolo, surviving spouse of Dante DiPaolo, that a grant of a right-of-way for ingress and egress over Continental Manor land to the Temple Hill Road be prepared, executed and delivered so that it may be recorded in the County Clerk's Office. This grant must, of course, be free and clear of any lien or other marketable title objection.

Enclosed herewith is a photocopy of the September 24, 1975 Agreement above referred to.

I would appreciate hearing from you at your early convenience.

Very truly yours,

Julius Larkin Hoyt

JLH:bmm
enc.

cc: Mrs. Eleanor DiPaolo
Town Engineer, Town of New Windsor
Chairman, Town of New Windsor Planning Board ✓



1763

TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK

file 77-30

January 28, 1985

Scott & Hoyt Attorney & Counselors at Law
233 Liberty Street, P.O. Box 511
Newburgh, New York 12550

Att: Julius L. Hoyt, Esquire

Re: Continental Manor

Dear Mr. Hoyt:

Pursuant to your letter of January 21, 1985, I discussed the matter with the Planning Board at their meeting held on January 23, 1985.

It appears the Continental Manor Development came in within the last few months to have their condominium site plan re-certified. That re-certification was done and Continental Manor has no application of any kind presently pending before the Planning Board. Based on an informal discussion held at the Planning Board meeting of January 23, 1985, it appears that the Planning Boards position on this matter is that the right-a-way referred to in the agreement of September 24, 1985 should be executed and filed. At this point, however, the Planning Board has no plans to take any action to compel Continental Manor to file that right-a-way.

If you wish to discuss this matter please feel free to call me.

Very truly yours,

Andrew S. Krieger

ANDREW S. KRIEGER, Esq.
Planning Board Attorney

ASK/sh



1763

TOWN ENGINEER
TOWN OF NEW WINDSOR

555 UNION AVENUE
NEW WINDSOR, NEW YORK

August 30, 1984

United Appraisal Company
1 High Street
Morristown, New Jersey 17460

Attention: Vincent Mullaney

Re: Continental Manor

Dear Mr. Mullaney:

On August 8, 1979 the Town of New Windsor Planning Board approved a revised General Site Plan for Continental Manor, Temple Hill Road, under signature of Ernest G. Spignardo, Chairman of the Board.

The above site plan has a total of twenty eight (28) buildings, with 306 living units.

For information purposes there are 32 units of this project built and occupied, with 274 more units to be built.

Very truly yours,

PAUL V. CUOMO, P.E.
Town Engineer

PVC/sh

1
Date 7/13/77

revised plan
Application No. 77-30

TOWN OF NEW WINDSOR PLANNING BOARD

555 Union Avenue; Tel: 565-8308

APPLICATION FOR SITE APPROVAL

Name Lynn Phil Company (Continental Manor)

Address 60 Romaine & Cohen, Paul Plaza Orangetown, NY

1. Owner of the property Lynn Phil Company

2. Location of the property Temple Hill Road

3. zone area see site plan approved 9/24/75

4. Nature of business _____

5. Lot size: Front _____ Rear _____ Depth _____

6. Building setbacks: Front yard _____ Rear yard _____

Side yard _____

7. Dimensions of new building _____

Addition _____

If addition, state front, side, rear of existing structure:

Compliance with requirements shall be the sole responsibility of the applicant or his representative and it is suggested a copy of the Zoning Ordinance be obtained, with particular attention to Article X to avoid rejection of the plans.

I do hereby affirm that all fees, permits and charges applicable under the laws and ordinances of the State of New York and the Town of New Windsor will be paid and that any expense for advertising of Public Hearing or meetings will be paid. Also, any legal or engineering fees for review of this project. Fees are due and payable upon submission of preliminary plans. All checks are to be made payable to the Town of New Windsor. Seven (7) copies of the plans are required.

Signature of applicant

Presubmission _____

revised
Final Approval July 13, 1977

Adopted 10/5/70

final approval 9/24/75

77-30
Date: July 17, 1979

To: Mr. Ernest Spignardo, Chairman
Planning Board

From: Paul V. Cuomo, P. E.
Town Engineer

Subject: Specifications for Road and Parking
Lot Sections on Continental Manor Plan

The typical divided roadway section and the interior roadway section on the planning board approval plans for Continental Manor, July 19, 1977, Page 2 of 2 should be changed.

The geometry of both sections stay the same, however, the typical section should read as follows:

Road:

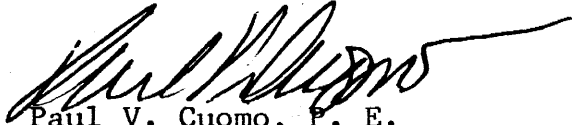
- 2" Top
- 4" Stabilized Base
- 5" Crushed Stone or Shale

In addition, a parking lot specification should be added:

Parking Lot:

- 1" Top
- 3" Stabilized base
- 5" Crushed Stone or Shale

I would like to have a planning board resolution and the contract plans will be changed accordingly.


Paul V. Cuomo, P. E.
Town Engineer

PVC/mfb

ROMANO & COHEN

Counselors at Law

JOSEPH F. ROMANO
SANFORD COHEN
RAYMOND G. ICABELLI

May 31, 1977

RECEIVED

JUN - 9 1977

TOWN ENGINEER'S OFFICE
TOWN OF NEW WINDSOR

ORANGEBURG, NEW YORK 10962
(914) 359-3434

Mr. Henry Van Leeuwen
Chairman, Planning Board
Town of New Windsor, Town Hall
New Windsor, N. Y. 12550

Re: Continental Manor in the Town of New Windsor

Dear Mr. Leeuwen:

We are the attorneys for Continental Manor in the Town of New Windsor. On September 24, 1975 the Planning Board granted approval to a site plan which showed 363 units. On October 6, 1976 the Town Board passed a resolution extending the approval for a one year period, presumably to end on September 23, 1977.

In 1977, Continental Manor retained the William E. Becker Organization, as consultants, to prepare a market research and feasibility study for the development. The study showed that the marketability of the units would be enhanced if the number was reduced and the amount of green area was increased. As a result, a new site plan was prepared by Martin, Gebhardt & DiPaola, Architects, which reduces the number of units from 363 to 304. The new site plan shows the same road pattern but increases the parking from 1.5 per unit to 1.78 per unit and, of course, as a result of a reduction in the units, increases substantially the amount of green.

I have discussed this amendment to the site plan with Mr. Crotty and Ms. Hassden-teufel for the purpose of determining a procedure for procuring Planning Board understanding of the change and approval, if necessary. They both suggested that this letter be sent with the amended site plan, to be available at the meeting of the Board on June 8th. At that time, the Board could consider the revised site plan and so advise if any additional information was required or whether a personal appearance would be required, etc. On the other hand, the Board could approve the amended site plan without personal appearance since the only substantive change is a reduction in the number of units. If such approval is granted, it is of course subject to all of the terms and conditions of the prior agreements between the Planning Board, the Town and Continental Manor and its predecessors.

For the convenience of the Board, we are enclosing 3 copies of the amended site plan.

Respectfully,
ROMANO & COHEN

By Joseph F. Romano
Joseph F. Romano

JFR:emb Encl.

ZONING

SCHEDULE

NR.	ITEM	ORDINANCE	ACTUAL	PREVIOUSLY APPROVED SUBMISSION	REDUCTION OR ADDITION
1	AREA OF PLOT	5 ACRES	40 ACRES 1,742,400 SQ. FT. ±	40 ACRES 1,742,400 SQ. FT. ±	—
2	AREA OF BLDGS.	348,480 SQ. FT.	171,752 ± SQ. FT.	207,315 SQ. FT. ±	MINUS 35,563 SQ. FT.
3	% OF BLDG. COVERAGE	20%	9.85% ±	11.89 %	MINUS 2.04 %
4	MIN. LAND AREA REQ'D/UNIT	3,000 sq. ft. / UNIT	5,692 SQ. FT. ±	4,800 SQ. FT.	PLUS 850 SQ. FT. PER UNIT
5	TOTAL LAND AREA PER UNIT REQ'D @ 3,000 sq. ft. PER UNIT	918,000 SQ. FT. ±	1,742,400 SQ. FT. ±	—	—
6	OPEN SPACE PER UNIT	1200 SQ. FT.	1,640 SQ. FT. ±	—	—
7	TOTAL OPEN SPACE REQ'D	367,200 SQ. FT. ±	501,840 SQ. FT. ±	400,000 SQ. FT. ±	PLUS 100,000 SQ. FT. ±
8	PARKING REQ'D	1.5	1.78 ±	1.50	PLUS .38 ±
9	TOTAL PARKING	459	544 ±	558 ±	—
10	LENGTH OF BLDG	160' ±	146' ±	—	—
11	MIN. LIVABLE FLOOR AREA	600 SQ. FT.	800 SQ. FT. ±	—	—
12	TOTAL PAVED AREA	—	273,735 SQ. FT. ±	298,430 SQ. FT. ±	24,709 SQ. FT.

PREVIOUSLY APPROVED SUBMISSION	363 UNITS
THIS SUBMISSION	306 UNITS
NET REDUCTION	57 UNITS

meritt, gebhardt & dipacio
ARCHITECTS
 140 MARKET STREET, SUITE 2000, NEW JERSEY 07102

speedimemo

TRIP

SUTTON CONSTRUCTION COMPANY
2332 MORRIS AVENUE, UNION, NEW JERSEY 07083

TO **Marvin**

AT

SUBJECT **New Windsor, New York**

DATE **9/20/73**

This is to advise that our Preliminary Site Plan was approved and Sanitary Sewer installation has been approved by the County of Orange, Dept. of Health (based on a population of 1400) and also approved by the New York State Dept. of Environmental Conservation.

PLEASE REPLY TO → SIGNED **Hal**

cc:Mort

Carl

Follow up
What does this mean
mat part of people

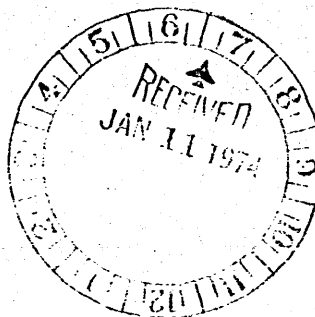
DATE

SIGNED *see apt?*

Rediform® 4S 469

Poly Pak (50 sets) 4P 469

SEND PARTS 1 AND 3 WITH CARBONS INTACT.
PART 3 WILL BE RETURNED WITH REPLY.



M E M O

TO: FAS, RMJ, HBR
✓ **Sutton Construction Co.**

DATE: 1/10/74

RE: #12,841 - Continental Manor, New Windsor, New York

**As of January 9, 1974, final approval has been granted
by the Planning Board subject to:**

- 1) 8 foot fence instead of 6 foot fence.**
- 2) Engineer corrections between manholes #2 and 3
(taken care of by Kartigani).**
- 3) Receipt of railroad easement and right to use
land for retention basin.**
- 4) Subject to retention basin being installed at the
discretion of Planning Board Engineer or Town
Engineer at the time that construction requires
installation.**
- 5) Subject to \$15,000 donation for off-site drainage
improvements (less than \$50 per unit).**

Mike Mendell/etc

2 July 1974

Mr. Bernard Kessler
6 Fleetwood Ave.
Spring Valley, N.Y. 10977.

Dear Mr. Kessler,

Enclosed please find a print of the latest Continental Manor site plan, dated 2 July 1974, for your review. As we discussed over the phone today, the modifications to the plan as approved by the town planning board are as follows:

The road pattern has been modified by elimination of the road on the Eastern portion of the site, which led to the Little League baseball field. This change was necessary because of large rock outcroppings in this portion of the site. The loop portion of the road has not been changed.

The original submission included both townhouse and condo-plex units. Because of problems with the site, and from the view point of good planning, we are planning to use all condo - plex units, keeping the total number of units the same (362). Because the condo-plex units are dimensionally different from the townhouses, the configuration of the buildings and the way that they are situated on the site, with respect to parking areas, roads, etc., is different. The change has created a larger common open space, better views;;in general, a better site plan.

We feel that the changes in the plan are of a positive nature. The elimination of the road on the Eastern half of the site has created a large amount of land for recreational use. The substitution of condo-plex units for townhouses has resulted in less ground coverage, and more open space. The changes have created a land plan that we feel will result in a successful new community.

If you have any further questions, or require any further information, please do not hesitate to call.

Truly yours,

cc:Harold Sterling

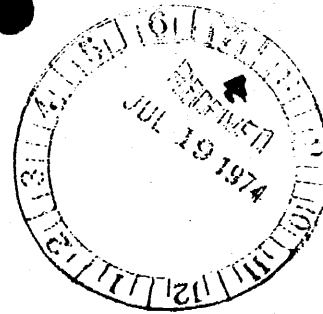
Joe Romano

Bill Cstac

Architects / Site Planners **NORMAN JAFFE AIA** 125 East 80th St. New York 10021 TR 9-2756

MEMO FOR RECORD

July 18, 1974



RE: Continental Manor, New Windsor, NY

I visited the site on July 17 to determine the status of the trunk sewer presently going in and to get an idea of the sub-surface conditions. I was unable to visually get an idea of sub-surface conditions because the supervising engineer's policy (and the contractor's) was to back-fill daily any installation made. The only area open was immediately adjacent to Manhole #11 which was in process of being installed. All other trench cuts and manholes had been back filled to grade.

While at the site I met an inspector, Pat Kennedy, who works for Kartiganer and the information I have is basically from him. Installation of the Sewerage line started from Manhole #1 at the complete eastern side of the site. From Manhole #1 to between Manholes three and four rock excavations started at the surface and continued down approximately 23 feet where the pipe was laid. From half way between Manholes #3 and 4 to approximately Manhole #8 the pipe is in the ground only about five to six feet and that general area was very swampy with some boulders, muck and clay, an indication of an underground stream running generally North and South. This area is now drained, and according to the inspector, fairly firm and solid. From Manhole #8 to approximately Manhole #11 rock started in places at the surface to approximately eight feet below existing grade, and went down 18 to 19 feet where the pipe was installed. The inspector mentioned quite a lot of blasting was required. He said the first few feet were able to be excavated with rippers and their back-hoe, but as they got deeper, line drilling and blasting were required. Test drilling from Manhole #11 to Manhole #12 indicated rock was below pipe installation and the inspector considered that the back-hoe would be able to do this job. He also said that test drilling between Manholes twelve and thirteen indicated hard rock and that blasting would in all probability be required to install that section of pipe.

There remains approximately 800 to 1,000 feet of piping yet to be done on our property and installation of two manholes. This work should be done in the next week or so.

The equipment being used to install the pipe are two large tracked back-hoes, one Bucyrus-Erie 40 H and B-E 30 H, several bulldozers, one with a ripper, etc. The inspector said the material after being blasted and broken fractures well and becomes very good back fill for replacement in the trenches. The contractor has graded the area back to original site elevations and so far has left it dressed up and clean.

Follow UP: August 2

MEMO FOR RECORD

Page 2

The basic problems we will have will be installation of the utilities. These will be discussed with both Kartiganer and Norm Jaffe to determine the most economical way. The original test pits taken indicate relatively good excavation the first few feet, in most cases. This should not require too much rock excavation if utility design can be worked out. A meeting will be set up with the Architect and Kartiganer (Engineer) for sometime around the first of August. By that time the trunk sewer will be complete and Kartiganer will have complete information on the sub-surface conditions.

Carl R. Johnson

/ess

LYNN PHIL HOLDING Co.

245

PAY
TO THE
ORDER OF

Town of New Windsor

July 18, 1977

55-9
212

\$100.00

THE SUM 100 DOLLARS



FIDELITY
UNION TRUST COMPANY

MAIN OFFICE
NEWARK, NEW JERSEY 07101

DOLLARS

[Signature]

Re: Continental Manor

⑆0212⑈0009⑆ 3⑈29013 7⑈

Memo FROM:

OFFICE OF THE PLANNING BOARD
TOWN OF NEW WINDSOR
555 UNION AVENUE NEW WINDSOR, NEW YORK 12590

Payable to

[Handwritten initials]

TO:

Continental Manor

Town of New Windsor

DATE:

7/13/77

SUBJECT:

Continental Manor Engineering Fee

FOLD HERE

Engineering Fees

\$100.00

PAID
Pd Lynn Phil ck 245
7/15/77 - \$100.00

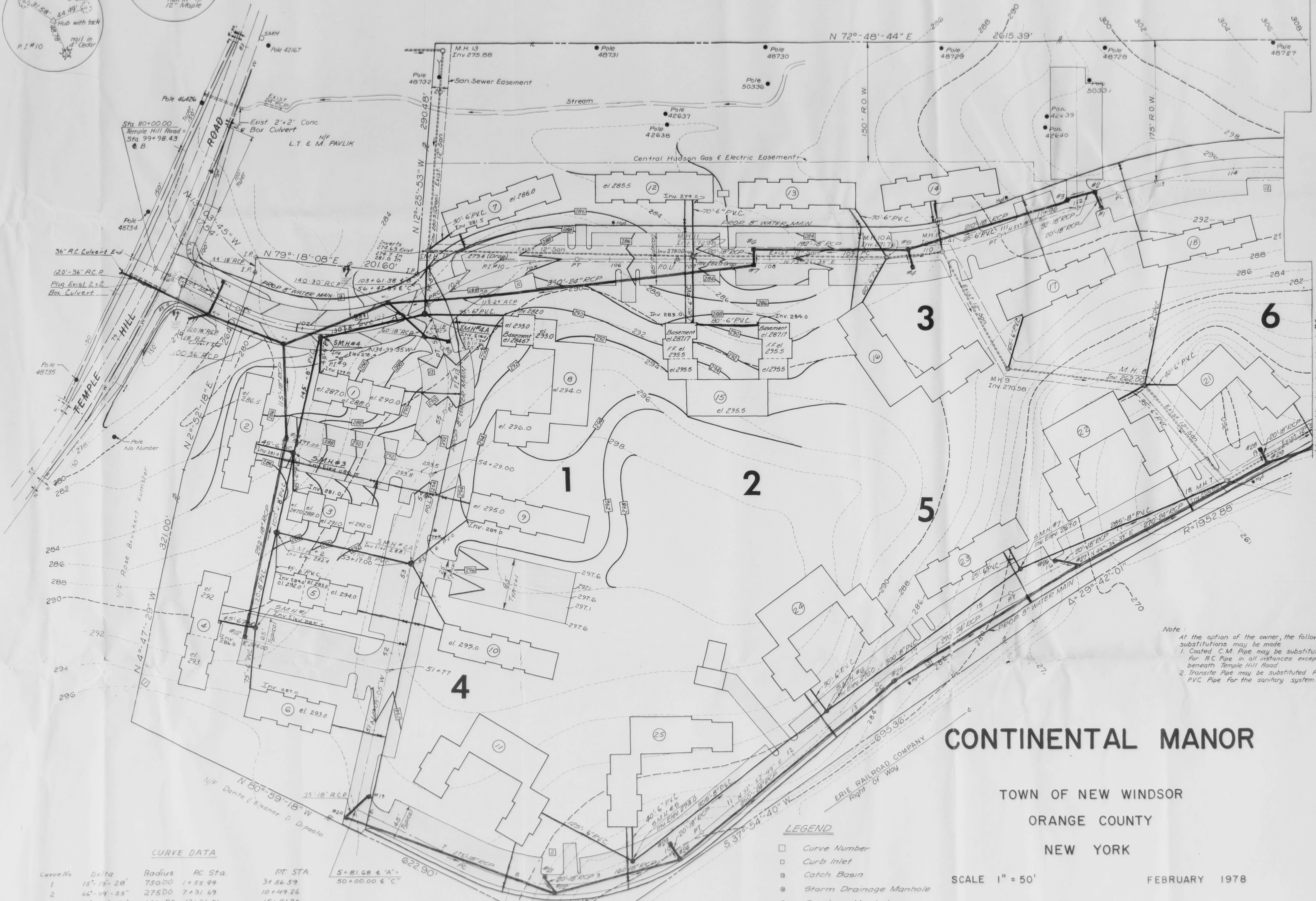
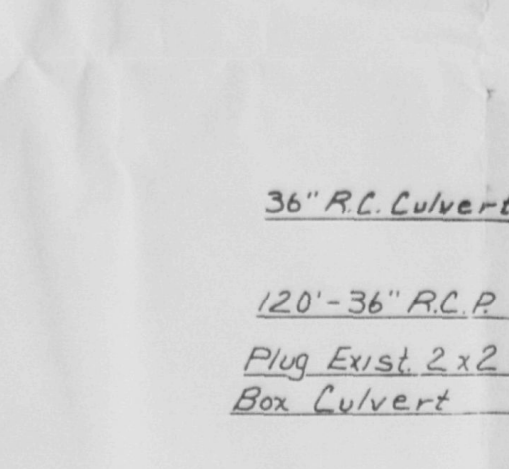
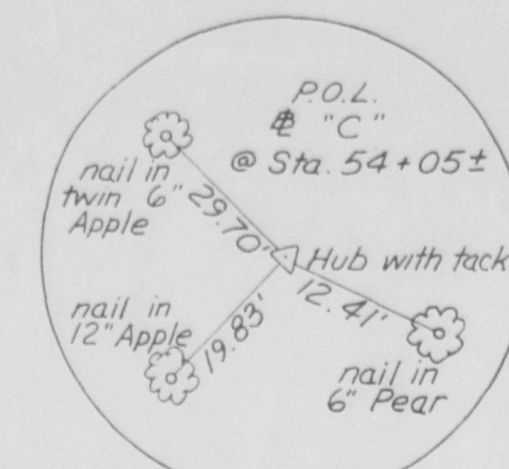
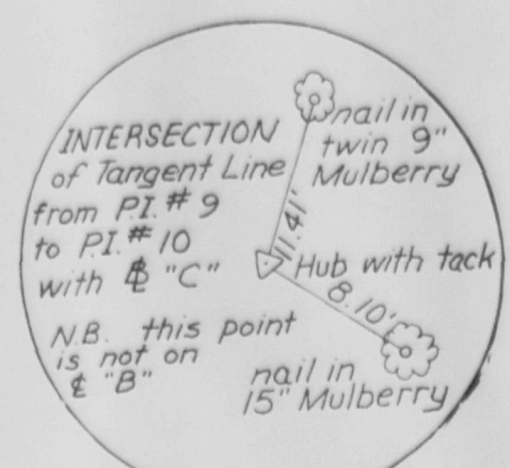
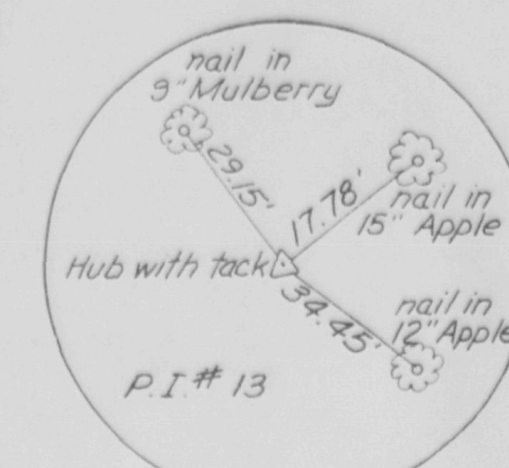
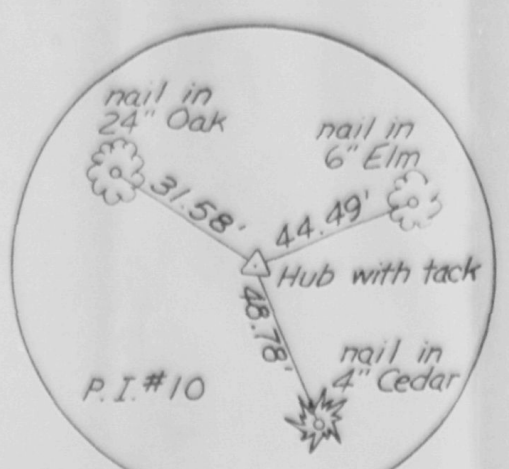
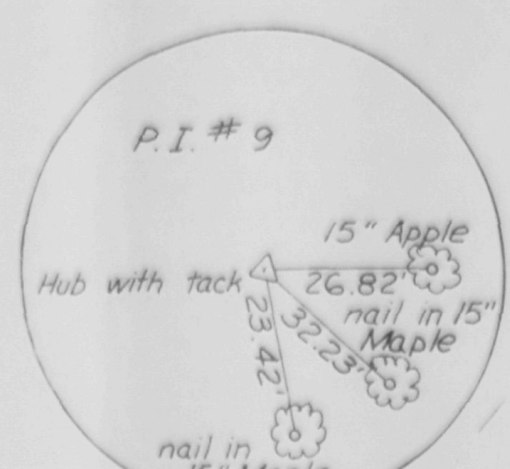
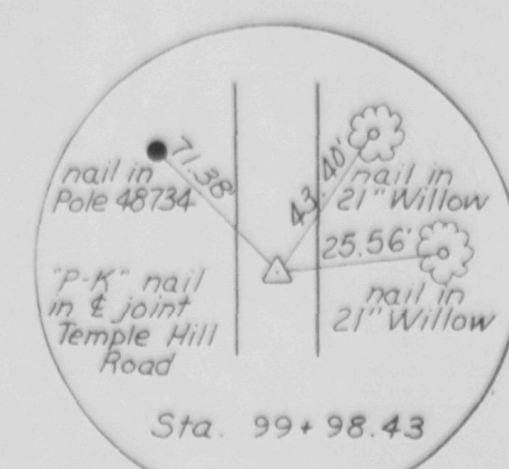
for Paul Luomo - Engineer

by

Shirley Handenberg
Recording Sec

OWNER: LYNN PHIL CO.
RECORDED: SECTION 35, BLOCK 1, LOT 64.

N/F W.F. SHEDDEN



CURVE DATA				
Curve No.	Delta	Radius	P.C. Sta.	P.T. Sta.
1	15°-19'-28"	750.00	1+55.99	31+56.59
2	66°-09'-55"	275.00	7+31.69	10+49.26
3	11°-43'-50"	1000.00	13+36.56	15+41.30
4	64°-21'-27"	250.00	20+10.31	22+91.12
5	93°-51'-34"	87.50	23+94.15	25+37.49
6	10°-11'-54"	550.00	32+05.35	33+03.25
7	206°-28'-52"	42.50	34+14.50	35+67.66
8	63°-31'-08"	32.50	36+10.16	36+46.19
9	58°-03'-34"	255.86	101+15.13	P.R.C. 103+74.40
10	32°-33'-10"	324.62	P.R.C. 103+74.40	105+58.83
11	20°-07'-57"	500.00	109+15.70	110+91.39
12	27°-15'-39"	550.00	112+50.86	115+12.55
13	30°-30'-30"	150.00	55+10.79	55+90.66

- LEGEND**
- Curve Number
 - Curb Inlet
 - Catch Basin
 - Storm Drainage Manhole
 - Sanitary Manhole
 - End Wall
 - Hydrant
 - Water Valve
 - Proposed Water Lines { 8" Main
2" Laterals
 - Existing Water Main
 - Proposed Storm Sewer
 - Proposed Sanitary Sewer

GEORGE KIRGIS, P.E.
PROFESSIONAL ENGINEER, N.Y. NO. 42434
George Kirgis, Inc. 2/6/78

CONTINENTAL MANOR

TOWN OF NEW WINDSOR
ORANGE COUNTY
NEW YORK

SCALE 1" = 50' FEBRUARY 1978

SHEET NO. 1 OF 2

PREPARED BY
STORCH ENGINEERS 161 MAIN STREET
WETHERSFIELD, CONN.

FOR SITE PLAN APPROVAL ONLY

OWNER: LYNN PHIL CO.
RECORDED: SECTION 35, BLOCK 1, LOT 64.

N/F W.F. SHEDDEN

N/F ST. JOSEPHS SOCIETY
OF NEW YORK INC.

CENTRAL HUDSON GAS &
ELECTRIC CORP. R.O.W.

NOTE:
50% Proposed Widening of Temple
Hill Road as Shown on Approved
Site Plan has been Included
in this Phase I Construction
Contract. 50% Widening will
be accomplished Prior to the
Completion of 84 Units
Per Agreement with
Town.

LEGEND

- Curve Number
- Curb Inlet
- Catch Basin
- Storm Drainage Manhole
- Sanitary Manhole
- End Wall
- Hydrant
- Water Valve
- Proposed Water Lines / 8" Main
2" Laterals
- Existing Water Main
- Proposed Storm Sewer
- Proposed Sanitary Sewer

NOTE

At the option of the owner, the following
substitutions may be made:
1. Coated C.M. Pipe may be substituted
for R.C. Pipe in all instances except beneath
Temple Hill Road.
2. Transit Pipe may be substituted for
PVC Pipe for the sanitary system.

CONTINENTAL MANOR

TOWN OF NEW WINDSOR
ORANGE COUNTY
NEW YORK

SCALE 1" = 50'

JAN. 1978

SHEET NO. 1 OF 2

Phase I Site Plan APPROVAL GRANTED
BY TOWN OF NEW WINDSOR PLANNING BOARD
ON FEB 22, 1978

PREPARED BY

STORCH ENGINEERS 161 MAIN STREET
WETHERSFIELD, CONN.

GEORGE KIRGIS, P.E.
PROFESSIONAL ENGINEER N.Y. Lic. No. 42434
DATE

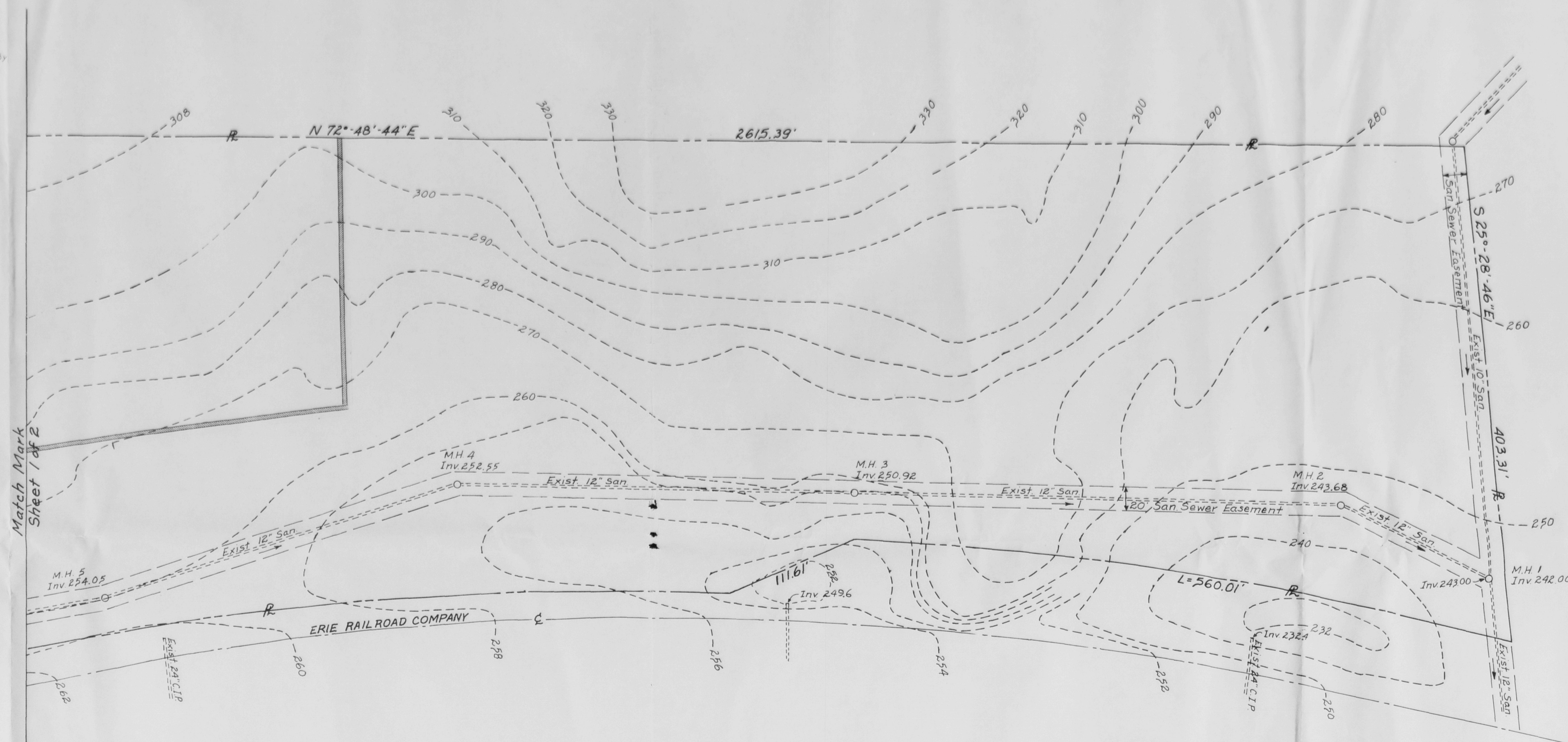
Match Mark
Sheet 2 of 2

GENERAL NOTES:

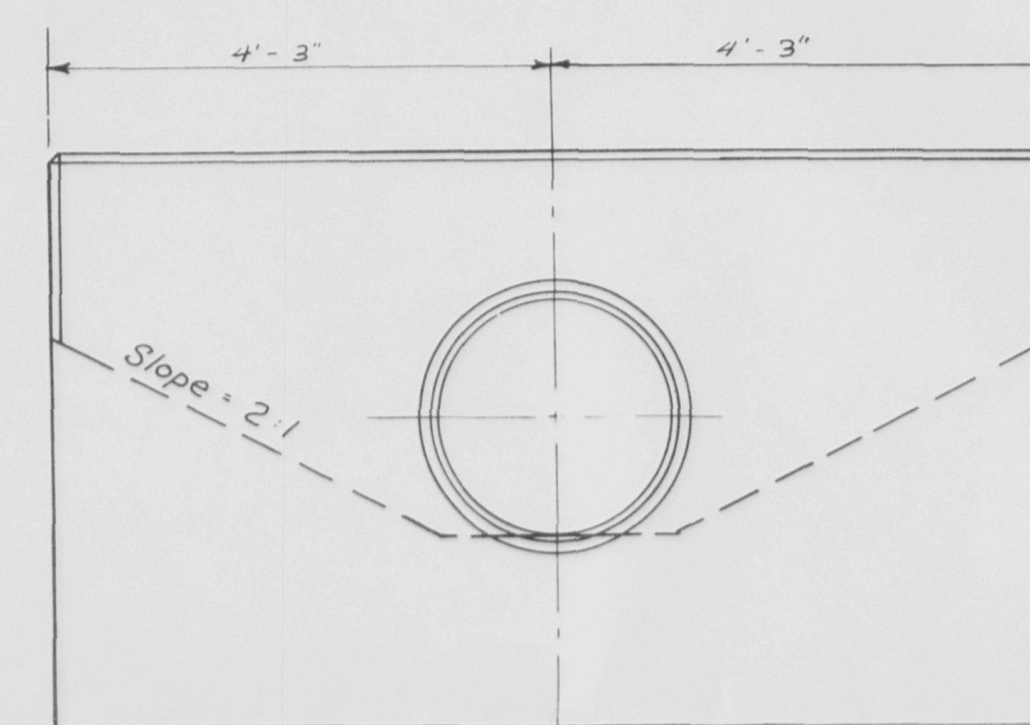
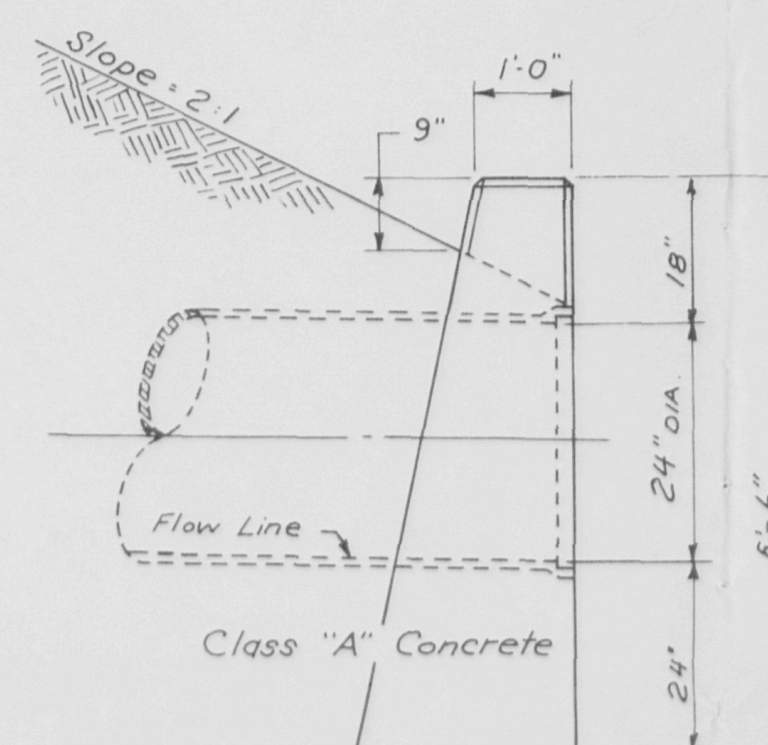
1. Building locations from plans prepared by Martin Gebhardt & Dipaulo, Architects, dated 5-31-77
2. Boundary, Topography & Existing Utilities taken from map prepared by Kartiganer Engineers, Newburgh, NY
3. All existing utilities for Temple Hill Road to be relocated as directed by the Engineer.

CURVE DATA

Curve No.	Δ	Radius	P.C. Sta.	P.T. Sta.
9	58°03'34"	255.86	101+15.13	P.R.C. 103+74.40
10	32°33'10"	324.62	P.R.C. 103+74.40	105+58.83
13	30°30'30"	150.00	55+10.79	55+90.66

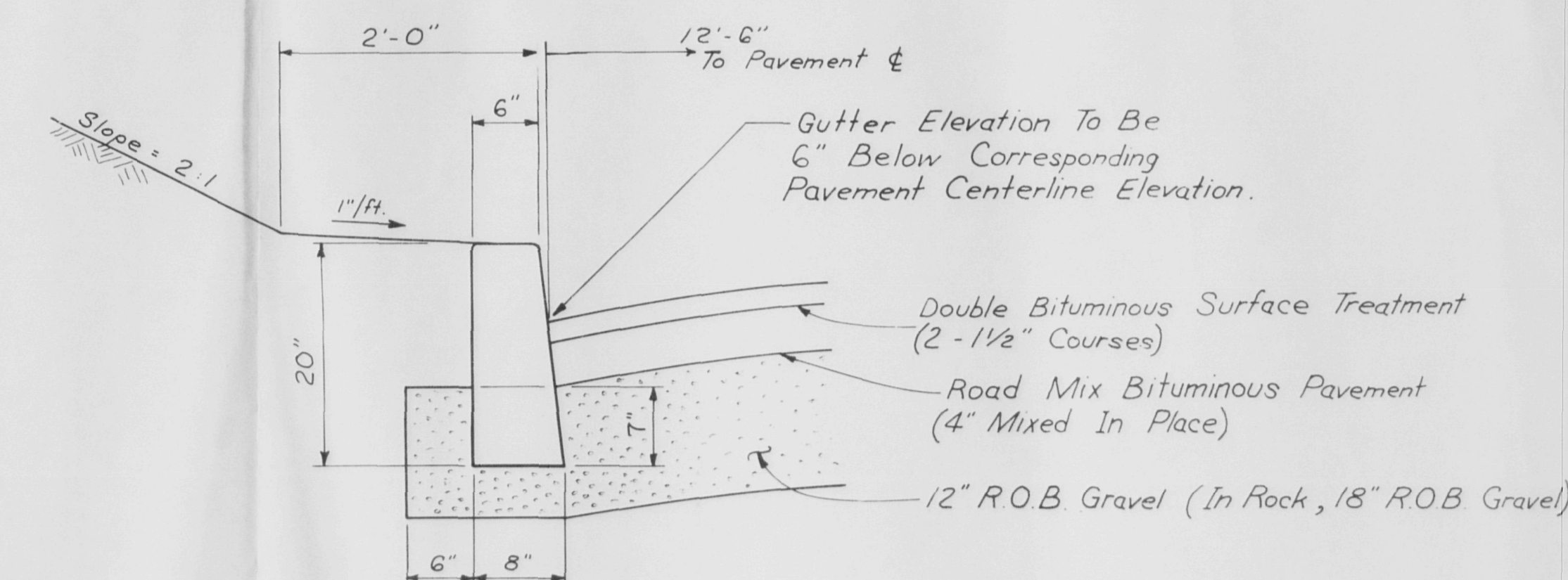


Note: All edges of exposed surfaces to be chamfered one inch.

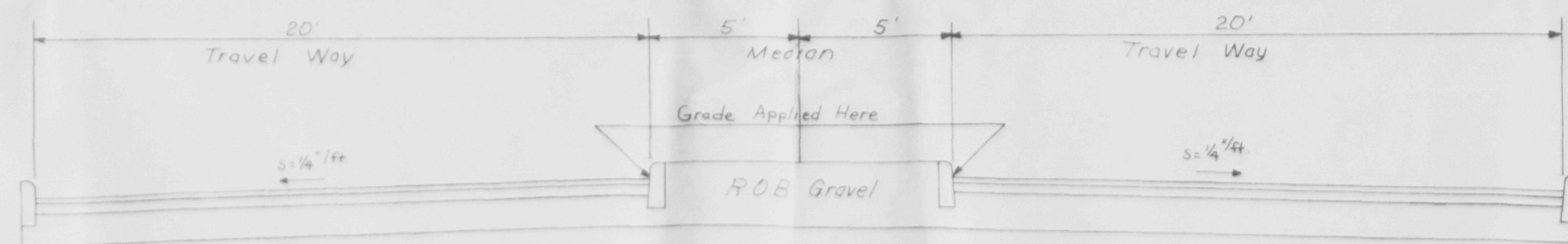


HEADWALL and ENDWALL DETAIL

Not To Scale

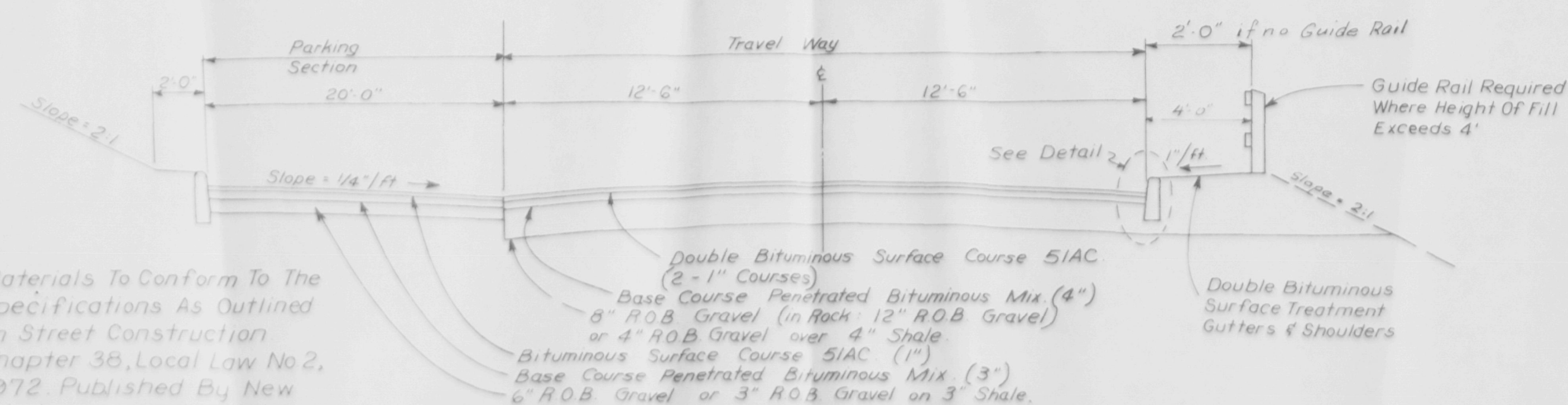


CURBING DETAIL



Materials And Depths To Be As Shown Below For Typical Interior Roadway Sections

TYPICAL DIVIDED ROADWAY SECTION



Note: Materials To Conform To The Specifications As Outlined In Street Construction Chapter 38, Local Law No 2, 1972. Published By New Windsor unless otherwise indicated.

TYPICAL INTERIOR ROADWAY SECTION

Not To Scale

CONTINENTAL MANOR

TOWN OF NEW WINDSOR
ORANGE COUNTY
NEW YORK

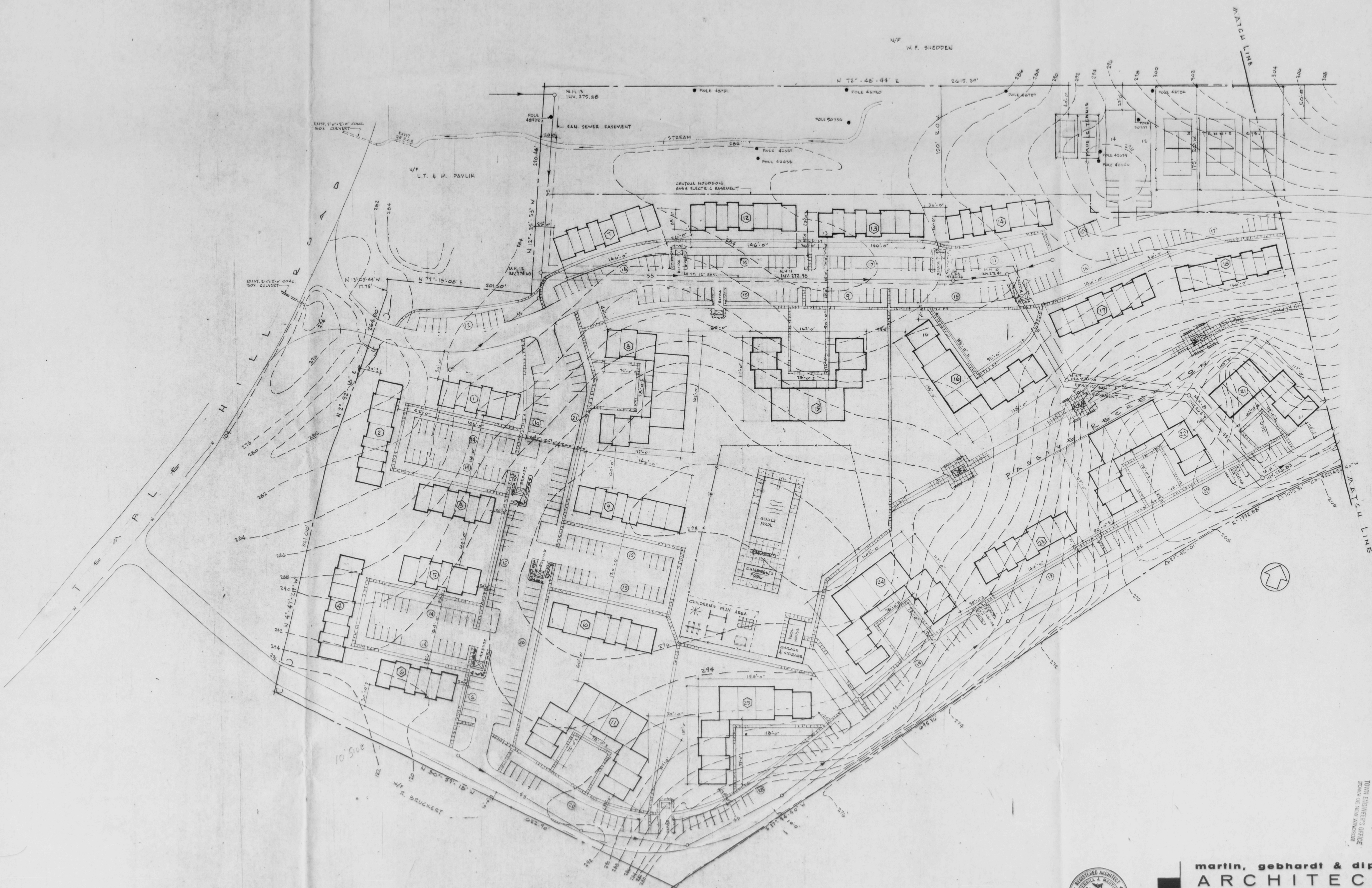
SCALE 1" = 50'

JANUARY 1978

SHEET NO. 2 OF 2

PREPARED BY

STORCH ENGINEERS 161 MAIN STREET
WETHERSFIELD, CONN.

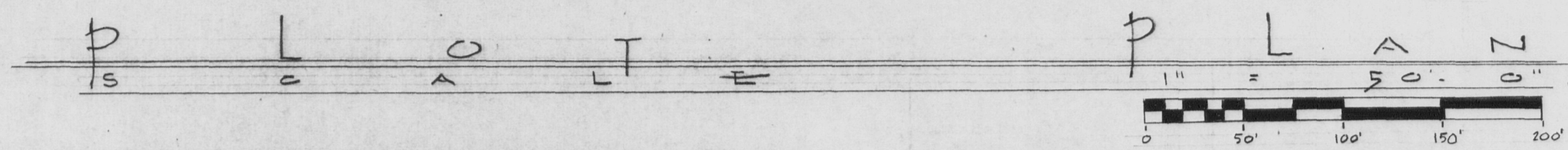
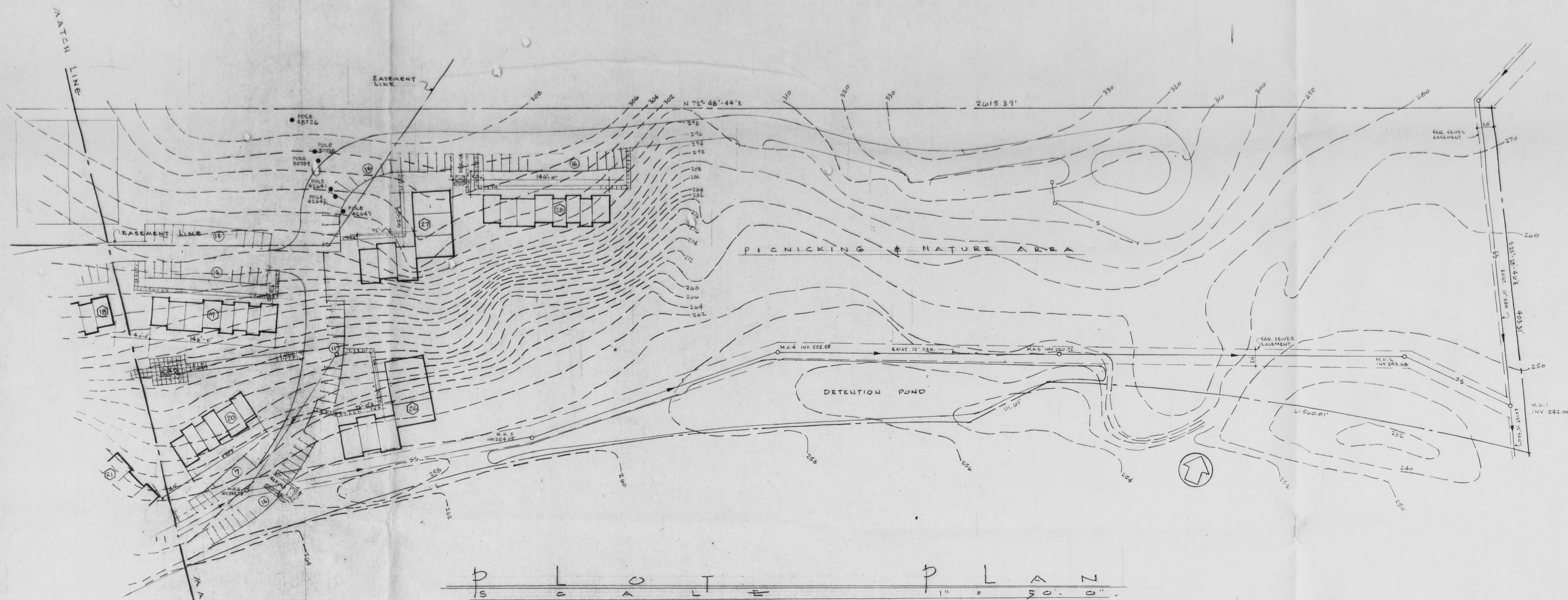


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299 MARKET STREET
 SADDLE BROOK, N. J. 07664

RECEIVED
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 TOWN ENGINEER'S OFFICE
 TOWN OF NEW JERSEY

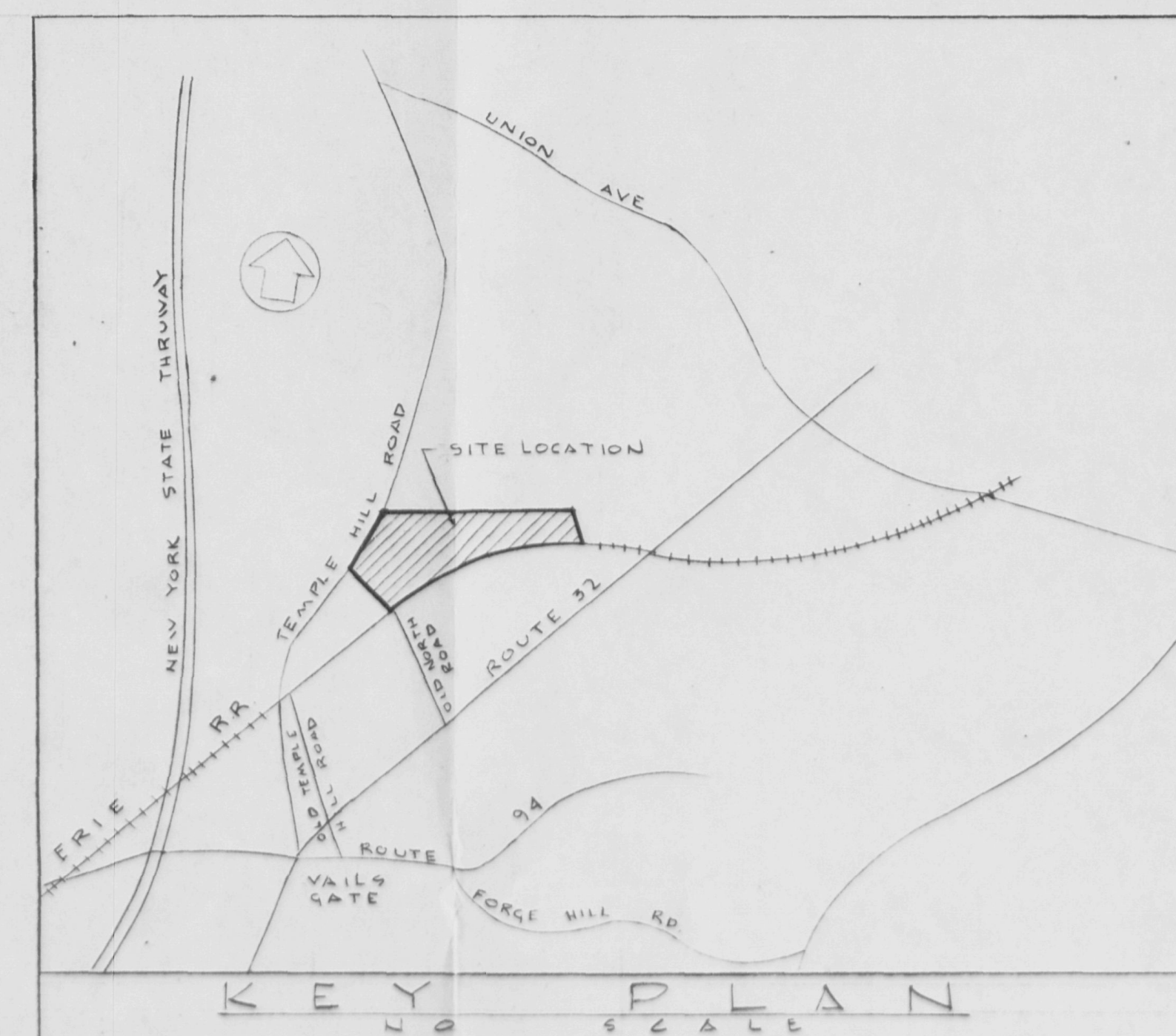
5-31-77



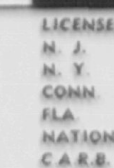
BUILDING SCHEDULE						
BLDG. #	TOWN HOUSE	GARDEN APT.	TOTAL SQ. FT. ±	SQ. FT. ±		
	2 BED RM. TYPE-1	3 BED RM. TYPE-2	1 BED RM. TYPE-3	1 BED RM. TYPE-4	2 BED RM. TYPE-5	
1	3	5				3,816
2	3	5				3,816
3	3	5				3,816
4	3	5				3,816
5	3	5				3,816
6	3	5				3,816
7	3	5				3,816
8	3	5	4	B	B	20,150
9	3	5				3,816
10	3	5				3,816
11	3	5	4	B	B	20,150
12	3	5				3,816
13	3	5				3,816
14	3	5				3,816
15			4	B	B	20,150
16			4	B	B	17,900
17	3	5				3,816
18	3	5				3,816
19	3	5				3,816
20	4	2				3,816
21			2	4	6	12,342
22			4	2	8	20,150
23	3	5				3,816
24			4	8	8	20,150
25			4	8	8	17,900
26			2	4	6	12,342
27			2	4	6	12,342
28	3	5				3,816
29	GARAGE & POOL HOUSE					1,500
TOTALS	55	79	34	68	70	306

* 4,710 ± WILL BE ADDED IF 3 BEDROOM TOWNHOUSES INCREASE 1'-6" TO 2'-0"

ZONING SCHEDULE			
NO.	ITEM	ORDINANCE	ACTUAL
1	AREA OF PLOT	5 ACRES	40 ACRES 1,742,400 SQ. FT. ±
2	AREA OF BLDGS.	348,480 SQ. FT.	270,000 SQ. FT.
3	% OF BLDG. COVERAGE	20%	.154%
4	MIN AREA PER UNIT	3,000 ±/UNIT	5,692 SQ. FT. ±
5	TOTAL LAND ARE PER UNIT REQ'D @ 3,000 ± PER UNIT	918,000 SQ. FT. ±	1,742,400 SQ. FT. ±
6	OPEN SPACE PER UNIT	1,200 SQ. FT.	1,640 SQ. FT. ±
7	TOTAL OPEN SPACE REQ'D	367,200 SQ. FT. ±	501,840 SQ. FT. ±
8	PARKING REQ'D	1.5	1.78 ±
9	TOTAL PARKING	459	544 ±
10	LENGTH OF BLDG	160' ±	146' ±
11	MIN. LIVABLE FLOOR AREA	600 SQ. FT.	800 SQ. FT. ±



martin, gebhardt & dipaola
ARCHITECTS
planners designers



Merrill J. Martin, R.A., A.I.A.
N. J. Reg. No. C-3157
Robert E. Gebhardt, R.A., A.I.A.
N. J. Reg. No. C-3156
Bernard D. Paola, R.A., A.I.A.
N. J. Reg. No. C-2842

299 MARKET STREET
SADDLE BROOK, N. J. 07706
DRAWN CHECKED DATE DWG NO.
2

5-21-77